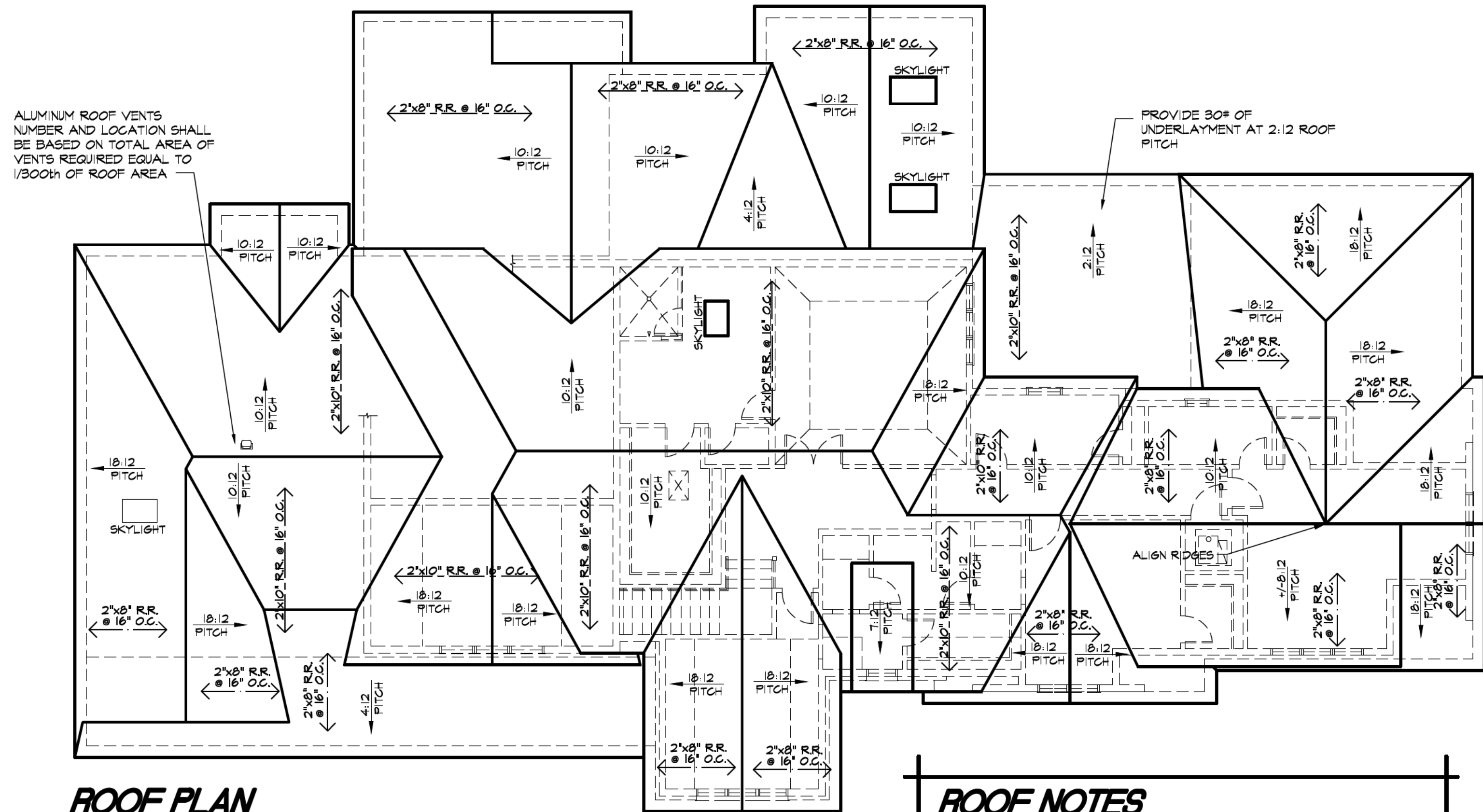




FRONT ELEVATION

SCALE: 1/4" = 1'-0"

FIRST FLOOR=3,767 SQUARE FEET
SECOND FLOOR=2,100 SQUARE FEET
TOTAL=5,867 SQUARE FEET



ROOF PLAN

SCALE: 1/8" = 1'-0"

DESIGN LOADS

USE	LL	DL
BALCONIES(EXTERIOR)	60	7
DECKS	60	7
ROOF RAFTERS	30	7
ROOF RAFTERS (CATHEDRAL CEILING)	30	15
ROOF RAFTERS(HEAVY ROOF)-EX. CLAY, TILE, GEMENT, SLATE	30	17
ATTICS(NO STORAGE WITH ROOF SLOPE NOT STEEPER THAN 3:12)	10	10
ATTICS(LIMITED ATTIC STORAGE)	20	10
FLOORS	40	10
FLOORS(SLEEPING ROOMS)	30	10
STAIRS	20	10
SUBFLOORS AND HANDRAILS (A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)	200	
WALLS-STUD		
WALLS-BRICK(STD)	40	
PARTITIONS OR WALLS (INTERIOR), HORIZONTALLY	5	
FLEXIGORE	100	

ROOF NOTES

- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER U.S. SPAN BOOK FOR CANADIAN LUMBER. SPAN TABLES SPF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)
- 2"x6" @ 12" O.C. = 9'-7" 2"x6" @ 12" O.C. = 11'-5" 2"x10" @ 12" O.C. = 21'-4" 2"x6" @ 16" O.C. = 11'-1" 2"x6" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 19'-5"
- HEM-FIR 2"x12" @ 12" O.C. = 24'-4" 2"x12" @ 16" O.C. = 21'-4"
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE 6x6 LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP.
 - ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
 - PROVIDE ICE AND WATER SHIELD A MIN. OF 24" MEASURED HORIZONTALLY FROM INSIDE FACE OF EXTERIOR WALL.
 - 2x6 COLLAR TIES SHALL BE INSTALLED FOR ROOF RAFTERS @48" O.C.
 - WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL.
 - PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
 - RAFTERS SHALL BE TRIMMED TO EACH OTHER WITH A SUBSET PLATE OR TO A MINIMUM 1/4" NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
 - A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPs, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
 - THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1/2" OF BEARING ON WOOD OR METAL, AND NOT LESS THAN 3" ON MASONRY OR CONCRETE, MAINTAIN 2" CLEARANCE TO COMBUSTIBLE FRAMING MEMBERS AT MASONRY FIREPLACE.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, COUNTY, AND LOCAL BUILDING ORDINANCES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK OR THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NULLIFY AND VOID ANY ARCHITECTURAL CERTIFICATION PERTAINING TO THIS PROJECT.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRESENTATIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTORS OR SUBCONTRACTORS SCHEDULES OR FOR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF.
- CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED FOR ROT AND TERMITES.
- PROVIDE A CONTINUOUS 2x6 WOOD NAILER ON TOP OF ALL STEEL BEAMS EXCEPT THOSE USED FOR SUPPORTING MASONRY.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, OVERSIZED SUBS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS.
- BLOCK SOLID ALL POINTS LOADS DOWN TO STEEL BEAMS AND FOUNDATION WALLS.
- PROVIDE 3-2x4s MIN. AT EACH END OF ALL WOOD BEAMS, HEADERS, AND GIRDER TRUSSES CONTINUOUS TO CONCRETE FOUNDATION OR STRUCTURAL STEEL UNLESS NOTED OTHERWISE.
- PRESTOP ALL SOFFITS, PENETRATIONS BETWEEN STORES, THE ROOF SPACES AND DROPPED CEILINGS WITH 5/8" DRYWALL OR 3/4" PLYWOOD.
- PLUMBING SUPPLY LINES SHALL BE COPPER TYPE L.
- ALL WINDOW DESIGNATIONS ARE "ANDERSEN".
- ALL EXPOSED WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. THE MIN. NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MIN. NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" A.F.F.
- PROVIDE SAFETY GLAZING FOR WINDOWS LESS THAN 18" A.F.F. AND OVER ALL TUBS.
- FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
- PROVIDE ICE AND WATER SHIELD AT ALL VALLEYS, SKYLIGHTS, SADDLES, ROOF/WALL INTERSECTIONS(8'-0" UP WALL) AND AT ALL GUTTER LOCATIONS(A MINIMUM OF 6'-0" UP FROM EDGE OF ROOF).
- ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFICALLY INCLUDED IN THE DESIGN.
- ALL WINDOW KILLS TO HAVE COVERS OR GUARDS.
- WINDOW KILLS WITH VERTICAL DEPTH GREATER THAN 44" SHALL BE EQUIPPED WITH A PERMANENTLY ATTACHED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION, RINGS AT LEAST 1/2" INDE. AT LEAST 3" FROM WALL, SPACED NO MORE THAN 18" O.C. VERTICALLY FOR FULL HEIGHT OF WINDOW KILL.
- PROVIDE V8 CROSS BRACINGS IN FLOORS WITH MAX. SPACINGS OF 8'-0" O.C. ONE ROW MINIMUM. PROVIDE SOLID BRIDGING IN THE CEILING JOISTS WITH MAX. SPACINGS OF 8'-0" O.C. ONE ROW MIN.
- HOT AND COLD AIR RETURNS/SUPPLIES MUST BE IN SHEET METAL.
- FIREPLACE OPENING OF 6 S.F. OR LESS-HEARTH EXTENSION OF 8" ON EACH SIDE AND 18" IN FRONT OF FIREPLACE OPENING. FIREPLACE OPENING OF 6 S.F. OR GREATER-HEARTH EXTENSION OF 12" ON EACH SIDE AND 20" IN FRONT OF FIREPLACE.
- WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 12" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: 1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION. 2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090. 3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R502.2.2.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED SILICON BRONZE, STAINLESS, OR EQUAL IN CORROSION RESISTANCE. THIS APPLIES TO ALL TYPES LESS THAN 1/2" IN THICKNESS (INCLUDING NAILS AND SCREWS).
- RESISTANCE TO FIRE SPREADER, DRAININGS TO BE PROVIDED BY OTHERS.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR-CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES: 1. CEILING IS SUPPORTED UNDER THE FLOOR FRAMING. 2. 2 FLOOR FRAMING IS CONSTRUCTED OF PREFABRICATED WOOD JOISTS, TRUSS-TYPE OPEN KES, PERFORATED MEMBERS OR SIMILAR CONSTRUCTION.
- HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.

DESIGN CRITERIA

GROUND SNOW LOAD	25 LB/FT ²
ULTIMATE WIND DESIGN	107 MPH
SEISMIC DESIGN CATEGORY	A
SUBJECT TO DAMAGE FROM:	WEATHERING
	FROST LINE DEPTH
	TERMITES
	MODERATE TO HEAVY
ICE BARRIER UNDERLAYMENT	REQUIRED
AIR FREEZING INDEX	1543
WINTER DESIGN TEMPERATURE	-49°F, 97.1/2%
SUMMER DESIGN TEMPERATURE	89°F DRY BULB, 2.1/2%
	76°F WET BULB, 2.1/2%
INDOOR DESIGN CONDITIONS	MAX. 72° HEATING
	MIN. 75° COOLING

DRAWING INDEX

A-1	ELEVATIONS/ROOF PLAN
A-2	ELEVATIONS
A-3	FOUNDATION PLAN
A-4	FINISHED BASEMENT PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN
A-7	WALL BRACING PLANS
E-1	ELECTRICAL PLANS
D-1	WALL SECTIONS
D-2	DETAILS
SP-1	SPECIFICATIONS

CODES

2021 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
2021 INTERNATIONAL MECHANICAL CODE WITH AMENDMENTS
2021 INTERNATIONAL FIRE CODE
2014 STATE OF ILLINOIS PLUMBING CODE
2020 NATIONAL ELECTRIC CODE WITH AMENDMENTS
2021 INTERNATIONAL ENERGY CODE W/STATE OF IL AMENDMENTS
2021 PROPERTY MAINTENANCE CODE WITH AMENDMENTS
VILLAGE OF OAKBROOK ZONING ORDINANCE

CERTIFICATION

I CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY ABILITY COMPLY WITH THE BUILDING ORDINANCES, ZONING ORDINANCES, AND OTHER APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF OAKBROOK, IL.

Geni Kabil
PROFESSIONAL DESIGN FIRM # 184-006712

EXPIRES 4/30/2025

A NEW HOME FOR
O'Malley Builders
Lot 2, Wennes Estates
Oak Brook, IL

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EXPIRES: 11/30/2026

REVISIONS:

- 4/28/25 Building
- 4/28/25 Zoning

TITLE:
ELEVATION/
ROOF PLAN

DRAWN: JK
CHECKED: JK

DATE ISSUED:
12/4/24

PROJECT NUMBER:
2023-014

SHEET NUMBER:

A-1

GEOMETRY PLAN

LOT 2 IN WENNES ESTATES, BEING A RESUBDIVISION OF LOT 1 IN LUTHIN'S SUBDIVISION OF A PART OF THE SOUTH HALF OF SECTION 36, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED OCTOBER 5, 2018 AS EXHIBIT "B" OF THE DOCUMENT NUMBER R2018-094342, IN DUPAGE COUNTY, ILLINOIS

P.I.N.: 06-36-401-005

COMMON ADDRESS: 502 WENNES COURT



0 20' 40'
SCALE: 1"=20'

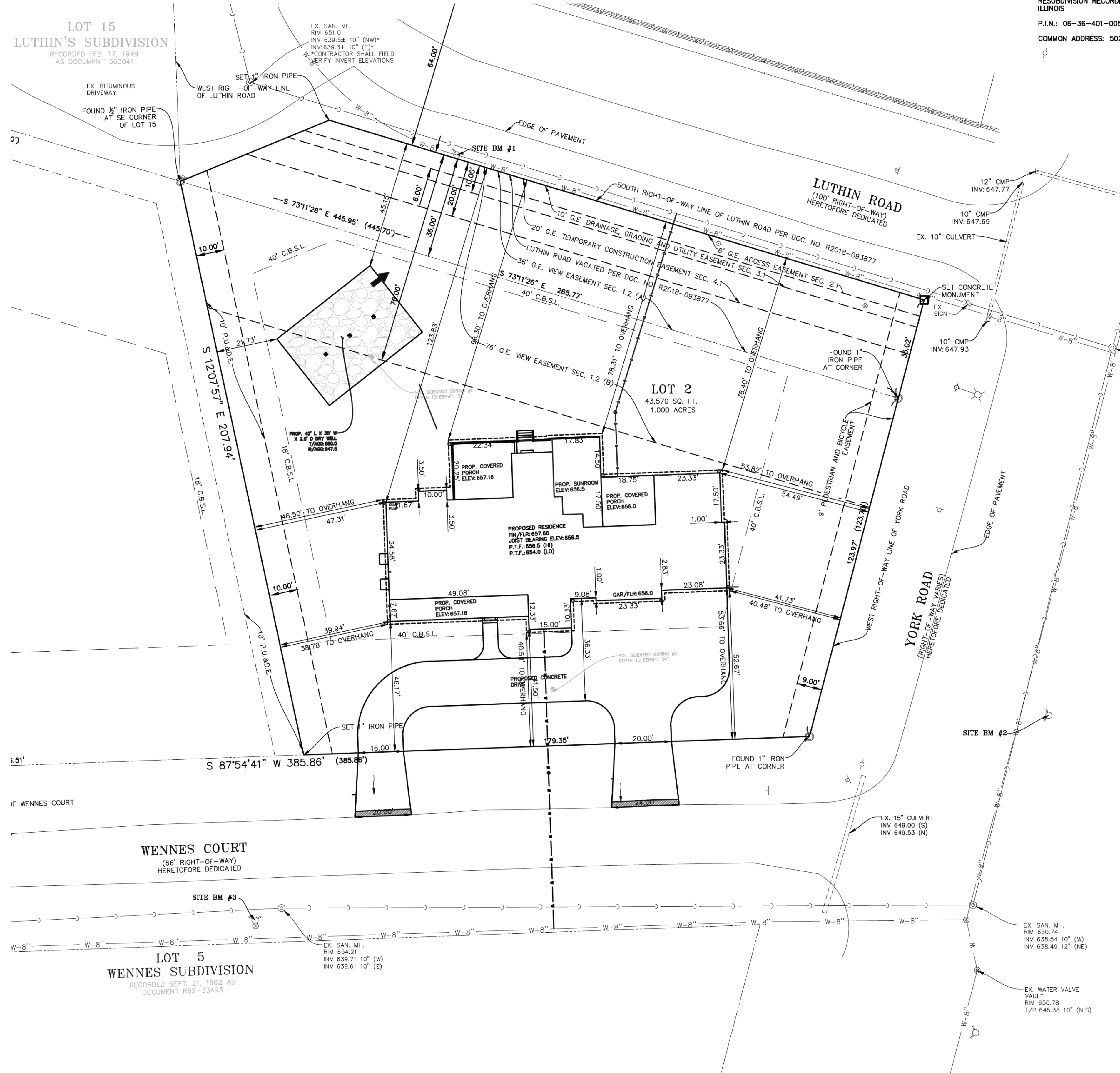
LEGEND

- EX. PROPERTY LINE
- EX. LOT LINE
- EX. EASEMENT LINE
- EX. SANITARY LINE
- EX. CHAIN-LINK FENCE
- EX. WOOD FENCE
- EX. OVERHEAD WIRE
- EX. WATER LINE
- EX. CONCRETE CURB & GUTTER
- EX. TREE/BRUSH LINE
- EX. 1 FOOT CONTOURS
- EX. STREET LIGHT
- FOUND IRON PIPE OR ROD
- SET CONCRETE MONUMENT
- EX. ELECTRICAL METER
- EX. ELECTRIC PEDESTAL
- EX. AIR CONDITIONING UNIT
- EX. FIRE HYDRANT/AUX. VALVE
- EX. VALVE BOX
- EX. MAILBOX
- EX. SPOT ELEVATION

ABBREVIATIONS

- | | |
|-----------|--------------------------------------|
| A | ARC LENGTH |
| B.S.L. | BUILDING SETBACK LINE |
| CH | CHORD |
| CONC. | CONCRETE |
| C.B.S.L. | CURRENT BUILDING SETBACK LINE |
| DOC. | DOCUMENT |
| E | EAST |
| FIP | FOUND IRON PIPE |
| FIR | FOUND IRON ROD |
| N | NORTH |
| P.B.S.L. | PRINCIPAL BUILDING SETBACK LINE |
| P.U.&D.E. | PUBLIC UTILITY AND DRAINAGE EASEMENT |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| R | RADIUS |
| R.O.W. | RIGHT OF WAY |
| S | SOUTH |
| W | WEST |
| DOC. | DOCUMENT |
| (XXX.XX) | RECORD INFORMATION |
| XXX.XX | MEASURED INFORMATION |

LOT 15
LUTHIN'S SUBDIVISION
RECORDED FEB. 17, 1949
AS DOCUMENT 563041



SITE BENCHMARKS

SOURCE BENCHMARK: OAK BROOK G-175
MUE BOLT ON HYDRANT ALONG THE SOUTH SIDE OF WENNES COURT
IN FRONT OF 511 WENNES COURT.

ELEV: 650.79 (NAVD 88)
ELEV: 651.02 (NGVD 29)

SITE BENCHMARK (BM) #1:
MUE BOLT ON HYDRANT ALONG THE SOUTH SIDE OF LUTHIN ROAD IN
FRONT OF PROJECT SITE.

ELEV: 651.33 (NAVD 88)

SITE BENCHMARK (BM) #2:
MUE BOLT ON HYDRANT ALONG THE EAST SIDE OF YORK ROAD IN
FRONT OF PROJECT SITE.

ELEV: 653.98 (NAVD 88)

SITE BENCHMARK (BM) #3:
MUE BOLT ON HYDRANT ALONG THE SOUTH SIDE OF WENNES COURT
IN FRONT OF PROJECT SITE.

ELEV: 656.33 (NAVD 88)

WENNES COURT
(66' RIGHT-OF-WAY)
HERETOFORE DEDICATED

SITE BM #3

LOT 5
WENNES SUBDIVISION
RECORDED SEPT. 21, 1962 AS
DOCUMENT R62-33493

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
05/01/25	KDK	VILLAGE COMMENT REVISIONS			
07/09/25	KDK	WATER SERVICE REVISION			
DRAWN BY: KDK			CHECKED BY: JPC		
			APPROVED BY: JPC		

O'MALLEY BUILDERS, INC.

TITLE:

502 WENNES COURT
TOPOGRAPHICAL SITE DEVELOPMENT PLAN
OAK BROOK, ILLINOIS

SCALE: 1"=20'
DATE: 11-11-24
JOB NO: W24192.00
SHEET 2 OF 4